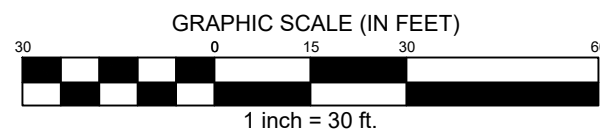




TN STATE PLANE
NOTE: BEARINGS ARE RELATIVE TO
TN. S.P.C.S. - NAD 83
DATE OF OBSERVATION 04/13/2020



LEGEND

- CONCRETE MONUMENT
 - ▲ (IRO) IRON ROD OLD
 - TREE
 - SEWER MANHOLE
 - TELEPHONE PEDESTAL
 - WATER METER
 - ⊕ HYDRANT
 - ⊕ VALVE
 - LIGHT POLE
 - SIGN
-
- SUBJECT PROPERTY LINE
 - ADJOINER
 - EDGE OF EASEMENT
 - FENCE LINE
 - WATER LINE
 - ELECTRIC LINE
 - TELEPHONE LINE
 - RIGHT-OF-WAY
 - SETBACK LINE
 - MAJOR CONTOUR LINE
 - MINOR CONTOUR LINE
 - CL CREEK
 - SETBACK LINE
 - FLOODPLAIN LINE
-
- P.O.B. POINT OF BEGINNING
 - M.B.S.L. MINIMUM BUILDING SETBACK LINE
 - R.O.W.C.TN. REGISTER'S OFFICE, WILLIAMSON COUNTY, TENNESSEE

MAP REFERENCE

BEING PARCEL 03.00 AND 04.00
AS SHOWN ON WILLIAMSON
COUNTY PROPERTY MAP 63-J,
GROUP B

PLAT REFERENCE

PLAT BOOK 7, PAGE 7, (R.O.W.C.TN.)
MAGNOLIA PLACE SUBDIVISION

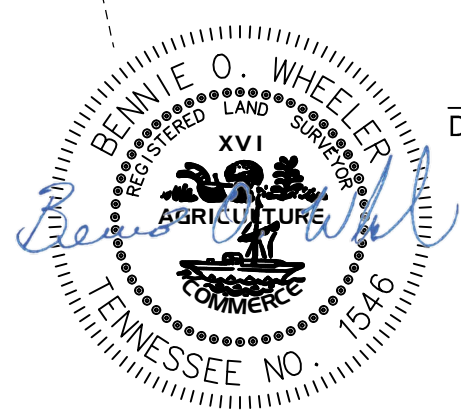
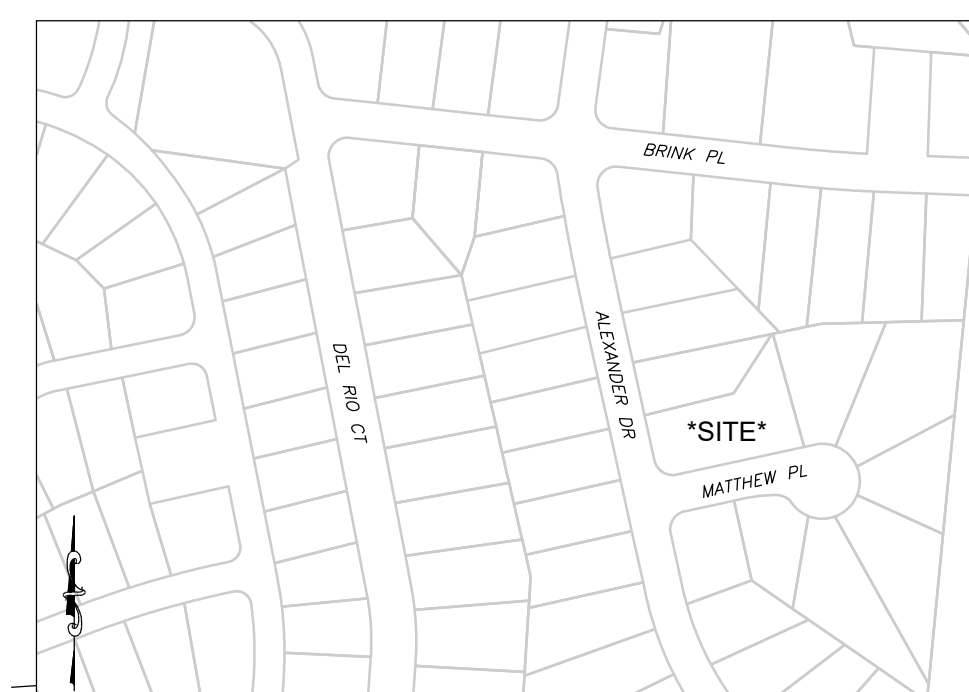
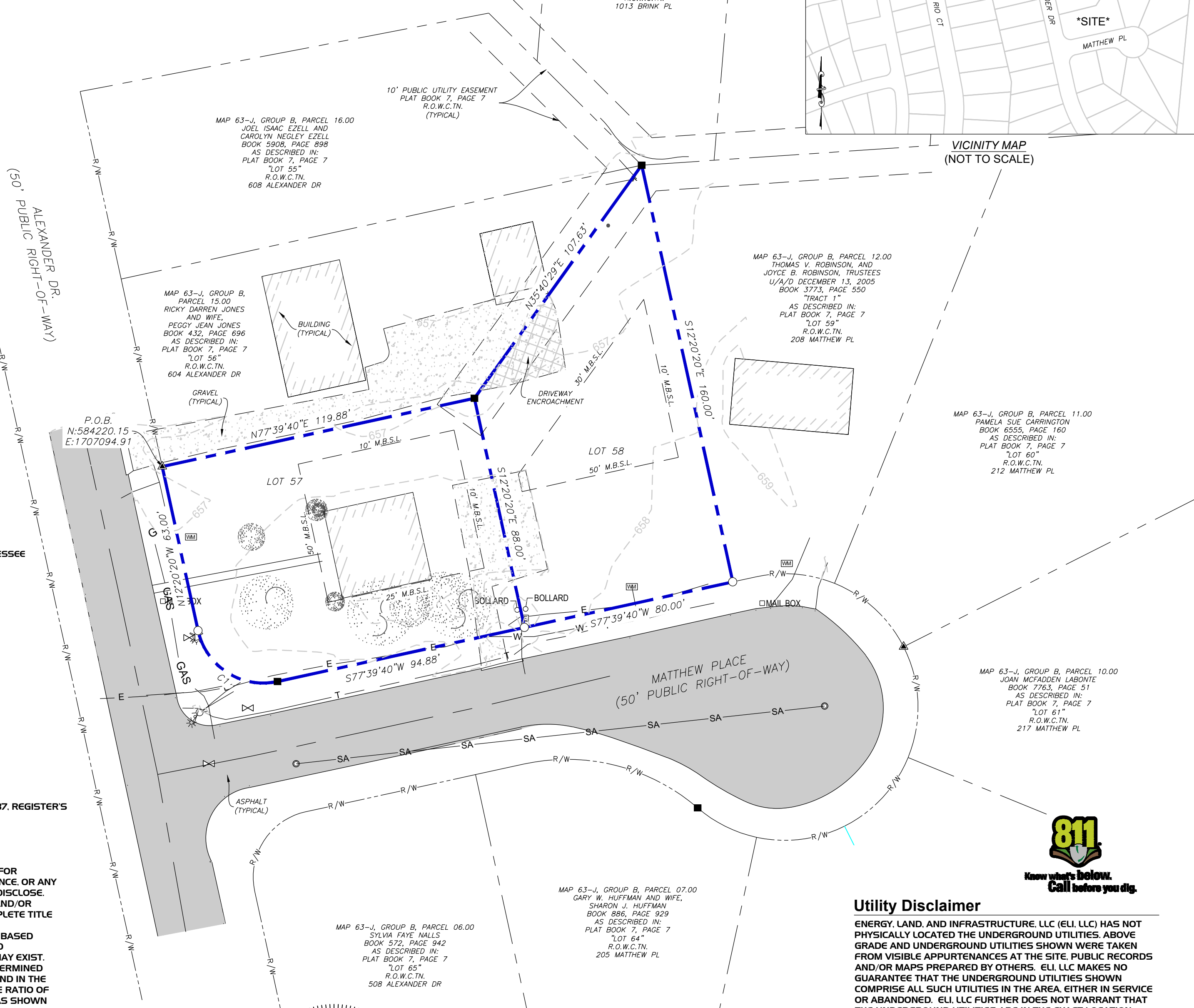
DEED REFERENCE

PROPERTY OWNED POONAM BERY
OF RECORD IN BOOK 7809, PAGE
937, (R.O.D.C.TN.)

GENERAL NOTES

1. DATE FIELD SURVEY COMPLETED: 04/13/2020
2. TRACT CONTAINS 20,336 SQUARE FEET OR 0.47 ACRES.
3. DEED REFERENCE: POONAM BERY, RECORDED IN BOOK 7809, PAGE 937, REGISTER'S OFFICE, WILLIAMSON COUNTY, TENNESSEE (R.O.W.C.TN.)
4. THIS PROPERTY IS ZONED "R-3", DETACHED RESIDENTIAL 3 DISTRICT.
MINIMUM REAR SETBACK: 30' (ZONING)
MINIMUM FRONT SETBACK: 50' (PLAT)
MINIMUM SIDE SETBACK: 10' (ZONING)
5. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
6. THIS PARCEL OF LAND IS SUBJECT TO ANY AND ALL RIGHT-OF-WAYS AND/OR EASEMENTS EITHER BY RECORD AND/OR PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.
7. ANY LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED SOLELY ON OBSERVATIONS AND FIELD LOCATIONS OF ABOVE-GROUND STRUCTURES. ADDITIONAL BURIED UTILITIES AND/OR STRUCTURES MAY EXIST.
8. THIS IS A TRUE AND ACCURATE PORTRAYAL OF THE BOUNDARIES DETERMINED FROM EDM/THEODOLITE, RECORD DATA AND PHYSICAL EVIDENCE FOUND IN THE FIELD. I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1/10,000 AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OUTLINED BY THE STATE OF TENNESSEE.
9. BASED UPON A GRAPHIC SCALE THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOODPLAIN) ON THE MOST RECENT FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP COMMUNITY NO. 47187, PANEL NO. 0192 G, DATED DECEMBER 22, 2016.
10. DECLARATION IS MADE TO ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
11. THIS PROPERTY DOES HAVE ACCESS TO A PUBLIC RIGHT-OF-WAY AS SHOWN HEREON.

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG	CHORD DIST
CI	39.27	25.00	N57° 20' 33"W	35.36



04/13/2020
DATE

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1/10,000 AS PER THE STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE STATE OF TENNESSEE.

Utility Disclaimer

ENERGY, LAND, AND INFRASTRUCTURE, LLC (ELI, LLC) HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. ELI, LLC MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. ELI, LLC FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER, NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 800



BOUNDARY & TOPOGRAPHIC EXHIBIT:
MAP 63-J, PARCEL 13.00 (LOT 57)
MAP 63-J, PARCEL 14.00 (LOT 58)
600 ALEXANDER DR. (LOT 57)
O MATTHEW PLACE (LOT 58)
 FRANKLIN, WILLIAMSON CO. TENNESSEE

ISSUE DATE:	04/17/2020
ELI PROJECT NO:	20-II-6005
DRAFTED BY:	PMC
CHECKED BY:	BOW
REV:	0
SHEET TITLE:	BOUNDARY & TOPO SURVEY HANNAH MCNEIL
SHEET NO. 1 OF 1	

ENERGY LAND & INFRASTRUCTURE
 1420 DONELSON PIKE, SUITE A12 • NASHVILLE, TN 37217
 OFFICE 615-383-6300 • WWW.ELI-LLC.COM
 ENGINEERS • SURVEYORS • INFRASTRUCTURE • ENVIRONMENTAL

Filename: W:\20-II-6005-14-518 Alexander Pl, 5-CAD\Plan\20-II-6005-14-518-Exhibit.dwg
 Layout Name: Layout
 Plotted: Monday, April 27, 2020 - 2:25 pm
 By: paul